

ARCHITECTURAL GUIDELINES AND ARCHITECTURAL REVIEW BOARD PROCEDURES

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**ARCHITECTURAL REVIEW BOARD
PROCEDURES**

Architectural Guidelines Introduction

The following Architectural Guidelines (Guidelines) embody the preceding description of what Powell Place is and should continue to be in the future. These Guidelines will be the primary vehicle for establishing and maintaining the architectural correctness and diversity for any and all residential development that is unique to Powell Place. The Guidelines may be periodically updated as required by the Architectural Review Board (ARB). The ARB has full authority over the Guidelines and review procedures and has the right to alter, change, overrule, etc. these Guidelines and ARB decisions at it's discretion.

Architectural Review Board Procedures

1. The Powell Place ARB shall enforce the Guidelines. Proposed houses must be submitted to the ARB for final review and approval prior to beginning any construction. The builder, superintendent or sales agent must present proposal in person.
2. All proposals and questions shall be submitted to the ARB, at the office of J. Michael Hubbard, Architect, PA, 110 Dry Avenue, Cary, NC, 27511, 919-795-6355, Fax - 919-463-9312, email – JMHArchitecture@aol.com. Please contact J. Michael Hubbard, Architect, PA (or the Powell Place Sales Office when opened later in 2005) to schedule appointments at ARB meetings.
3. Submittals shall include the ARB Submittal Checklist (in Appendix located at the rear of the Guidelines), Site Plan, Floor Plans, Elevations (front, sides and rear) color proposals (Color Selection Form) and any alternate / special details (i.e. handrails, columns, etc.). All submittals shall be one copy, 8-1/2" x 11", one-side only format. Concept drawings or preliminary plans may be submitted to the ARB for review, comment and approval to proceed before more detailed plans are completed.
4. The ARB meets typically on a weekly basis on Tuesday mornings at 10:00 am at the East West Partners' Office until the opening of the Powell Place Sales Office. Builders must have each proposal approved by the Powell Place Sales Staff prior to submittal to the ARB. Builders should present all proposals in person at ARB meetings. The ARB will review each proposal and determine if the proposal is either approved, approved with exceptions, disapproved or re-submit. Applications received after the submission deadline (ARB meeting time) will not be processed until the following week.
5. ARB meeting summaries will be completed within seven days after the ARB meetings and inserted in the permanent files at the Powell Place Sales Office at the following week's ARB meeting. If responses are required sooner than seven days, please attend the ARB meeting in person for immediate response and / or make such a request in writing. Copies of the meeting summaries will be forwarded to East West Partners, Powell Place Sales Office and the builder.

6. Final responses to ARB decisions (i.e. approved with exceptions and re-submittals) shall be re-submitted to the ARB for final review, approval and record prior to proceeding with construction.
7. No project may be started without formal ARB review and approval. It is the sole responsibility of the applicant to insure complete compliance with all relevant building practices, code permits, and licensing requirements.
8. Failure to comply with ARB requirements and approved plans and elevations, etc. may result in the required removal of any non-conforming construction, detailing, colors, etc.

Architectural Review Board Procedures for Alterations and Additions

1. After plans are initially approved, as noted in the preceding section, or after homeowners have closed on their property, the procedures of this section must be followed and completed for any alterations and additions.
2. The ARB Alterations and Additions Submittal Checklist form (see Appendix) must be submitted to the ARB for review of all exterior changes or additions to your residence or property. The list of changes, alterations or additions includes, but is certainly not limited to the following:

Attached or Detached Garages
Any addition to an existing dwelling
Awnings
Decks/Front or side Entrance Porches
Dog Houses/Dog runs
Exterior color changes
Fencing
Landscaping projects
Patios
Retaining Walls
Screened Porches
Storage Sheds/Playhouses
Satellite TV Dishes

3. All proposals and questions shall be submitted to the ARB, at the office of J. Michael Hubbard, Architect, PA, 110 Dry Avenue, Cary, NC, 27511, 919-795-6355, Fax - 919-463-9312, email – JMHArchitecture@aol.com. Please contact J. Michael Hubbard, Architect, PA (or the Powell Place Sales Office when opened later in 2005) to schedule appointments at ARB meetings.
4. The Guidelines are in total effect concerning any alteration or addition. A copy of the Guidelines are available for reference at the Powell Place Sales Office and at East West

Partners' Office. A copy may be borrowed and copied at the homeowner's expense.

5. The Application submittal should include the following as required to communicate the scope of the proposed new construction:

A plot plan (site plan, or reasonable facsimile) showing the location the proposed alteration or addition, the existing building, and property lines.

Detailed construction drawings to scale, including a full view of the addition, with elevations, as it will look attached to the existing structure. A view of the entire structure is necessary to help determine balance.

Drawings or photographs showing the existing conditions before the proposed changes.

Samples of colors and materials, if different from existing building.

A landscape plan and plant schedule, if applicable or required.

Perspective drawings of complex projects.

6. Concept drawings or preliminary plans may be submitted to the ARB for review, comment and approval to proceed before more detailed plans are completed.
7. All submittals shall be one copy, 8-1/2" x 11", one-side only format.
8. The ARB meets typically on a weekly basis on Tuesday mornings at 10:00 am at the East West Partners' Office until the opening of the Powell Place Sales Office. Builders must have each proposal approved by the Powell Place Sales Staff prior to submittal to the ARB. Builders should present all proposals in person at ARB meetings. The ARB will review each proposal and determine if the proposal is either approved, approved with exceptions, disapproved or re-submit. Applications received after the submission deadline (ARB meeting time) will not be processed until the following week. Incomplete applications, those with insufficient detail or improper format will be returned for revision.
9. ARB meeting summaries will be completed within seven days after the ARB meetings and inserted in the permanent files at the Powell Place Sales Office at the following week's ARB meeting. If responses are required sooner than seven days, please attend the ARB meeting in person for immediate response and / or make such a request in writing. Copies of the meeting summaries will be forwarded to East West Partners, Powell Place Sales Office (Permanent File), homeowner and builder (if applicable).
10. Final responses to ARB decisions (i.e. approved with exceptions and re-submittals) shall be re-submitted to the ARB for final review, approval and record prior to proceeding with construction.

11. No project may be started without formal ARB review and approval. It is the sole responsibility of the applicant to insure complete compliance with all relevant building practices, code permits, and licensing requirements.
12. Failure to comply with ARB requirements and approved plans and elevations, etc. may result in the required removal of any non-conforming construction, detailing, colors, etc.
13. Major additions often have an impact on neighboring property. Plans must be well thought out to minimize any adverse impact. Applicants should consult with neighbors while making plans (See application).
14. The design must be compatible in scale, massing, character, materials, and color with the original house. New windows and doors should match, and be located to relate well with existing windows. The roof pitch should match the original roof.
15. The location of the addition should not have an adverse impact on neighboring properties or impair the view of neighbors. Changes in grade or drainage must not adversely affect adjacent property.
16. Additions should be located to minimize the removal of trees and the destruction of natural areas. The ARB may require supplemental landscape treatment to compensate for the removal of vegetation, or to soften the addition visually.

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ARCHITECTURAL GUIDELINES

Architecture

1. Architectural diversity is very important to Powell Place. Colonial Revival, Greek Revival, Queen Anne and Craftsman style detailing is strongly encouraged along with other architectural styles which are reflective of Pittsboro and Chatham County and the other local historically compatible architecture. These varied details and architecture helps achieve the diversity and classic older neighborhood features which is a highest priority at Powell Place.
2. Architectural correctness is strongly encouraged and required with all architectural applications. See the "Architectural Style Reference" sections in the Appendix for appropriate and inappropriate uses of forms, materials, etc. It is strongly encouraged that each applicant reference "A Field Guide to American Houses" by Virginia & Lee McAlester and other similar architectural style reference books prior to submittal to the ARB.
3. Diverse roof styles, building massing, detailing, trim, doors, windows, materials, etc. are to be emphasized. Architecturally correct and compatible detailing and materials per each specific architectural style is of the most importance. The ARB is the final authority and reviewer of correct detailing, materials, etc. for specific architectural styles that exist in the Pittsboro historic areas.
4. Shutters are only allowed on certain styles of architecture where appropriate (i.e. Colonial Revival, Queen Anne, etc.). Shutters are only allowed on single windows and shall be sized appropriately to the size of the window. Shutters may be allowed on double windows, however shutters shall be sized to cover the entire window opening and reviewed and approved on a case-by-case basis. Shutters shall be painted wood, vinyl or fiberglass.
5. Brick veneer and other exterior materials(stone, shakes, etc.) "wallpaper" are not allowed. Brick veneer and other materials as listed above shall return around corners to rear of house or around to a major element and will be reviewed on a case-by-case basis. Brick veneer on entire house is strongly encouraged and will be required where visible from public areas, streets, etc. (i.e. all corner lots, pond lots, public park and green space lots, etc.).
6. Vinyl siding and trim, aluminum siding and trim, concrete masonry block units and prefabricated metal buildings and similar siding materials are not allowed. Uncommon exterior materials and details are typically not acceptable and will be reviewed and approved on a case-by-case basis.
7. Framed chimneys are not allowed. Masonry chimneys are encouraged. Direct vented units are allowed, however, they must be integrated into the architecture (i.e. gable or shed roofs over fireplace boxes). Exposed spark arrestors are not allowed.
8. Synthetic and faux type materials such as synthetic stucco is typically not allowed. Natural stone and hard coat stucco are allowed. Some synthetic stone may be allowed as reviewed and approved on a case-by-case basis.

9. All exterior siding shall be finished, painted, stained or otherwise protected from the elements of nature.
10. Flat roofs are not permitted except as appropriate for the specific architectural style and will only be reviewed and approved on a case by case basis. Typical overhangs shall be 1'-0" minimum. Wider overhangs (2'-0" and wider) are strongly recommended on Craftsman architecture.
11. Roof top mechanical equipment must be so located to reduce or eliminate its visibility from streets, sidewalks or adjacent properties. Any roof-mounted equipment that changes the exterior of the roof must be approved by the ARB. In short, roof top mounted equipment generally is not acceptable. All roof penetrations (i.e. plumbing vents, exhaust, flashing, etc.) shall be painted to match adjacent roof color.
12. Windows shall be double paned insulated glass. True divided lites are encouraged. Wood, aluminum clad, vinyl clad or solid vinyl type windows are allowed. GBG (grilles between glass) windows are allowed however the selection of the trim color shall be compatible with the white GBG.
13. Entrance doors shall be compatible with the architectural design. Craftsman style doors with upper glazed panels and sidelites are strongly encouraged on Craftsman style houses. Leaded glass, beveled glass, stained glass, etc. is also strongly encouraged on Colonial Revival and Queen Anne style houses. Door material shall be solid wood, fiberglass or metal insulated exterior. Screen doors are allowed and shall be compatible with the design and color of the house.
14. No screened or greenhouse type enclosures shall be permitted on the front of the house. Patio or pool enclosures are permitted as reviewed and approved by the ARB on a case-by-case basis. All detailing shall be consistent with the main house (i.e. match siding, trim and roof detailing, match colors, etc.). Exterior attached or detached enclosures, which obstruct the view of the ponds or other natural common areas by adjacent properties, are not allowed.
15. No window or wall air conditioning units will be allowed on elevations visible from the street, ponds or adjacent properties and is subject to ARB approval on a case-by- case basis.
16. All solar collectors require ARB approval. A drawing showing location of the unit on the roof showing visibility from streets and neighboring lots must be submitted to the ARB. Solar collectors shall be located as inconspicuously as possible. Such collectors shall be placed on the rear of the home or on the side that has the least public exposure. Collectors shall be attached only flush to the roof and not free standing or ground mounted. Every effort must be taken to camouflage the plumbing and supports for the collectors. This camouflage may require completely encasing the collectors. All metal parts shall be painted to match the roof color. There shall be a minimum exposure of piping with no piping running down the side of the dwelling. The ideal installation is one that is laid flat

on the roof. Any tree removal required to permit increased solar exposure to the collectors must adhere to the tree removal guidelines. No topping or removal of trees on association common areas and/or greenways shall be allowed.

Building Massing and Restrictions

1. A Lot Designation Plan has been implemented to assure additional architectural diversity in Powell Place. All lots shall be classified by the ARB including designations for 1-1/2 story houses, porches, wrapped porches, specific styles of architecture (i.e. Craftsman), etc. and shall not be altered without the written approval from the ARB. Under this designation plan approximately a maximum of 60% of the homes may be 2 story with no more than three (3) 2-story houses allowed in a row. Note the 1-1/2 story designation allows two story plans, however the streetscape impact appears as a 1-1/2 story house and can be achieved through lower roofs with dormers, additional porches, wrapped porches, etc. In some instances, side porches or screened porches are a substitution for the wrapped porch requirement and will be reviewed and approved on a case-by-case basis.
2. Some lots are designated for Craftsman style houses for the diversity that is sometimes missed in today's typical suburban community. A Craftsman style house is typically a 1 or 1-1/2 story house (however 2 story plans / elevations are also acceptable) with Craftsman style detailing such as low sloped roofs with roof brackets / knee braces, wide porches, brick pier based tapered wood columns, etc. See Appendix for additional Craftsman style detailing. The Craftsman style house houses shall be reviewed / classified for each builder by the ARB prior to submittal for construction or pre-sale.
3. Additional lots may be classified as 1-1/2 story houses. 1-1/2 story and one story houses are the least restricted and may be built on any lot.
4. The same or similar elevation will generally not be approved to be built within 4 lots on the same side of street or same distance opposite side of street (i.e. 3 lots between same or similar elevations). Same or similar detailed elevations on the same street are not recommended and will only be reviewed and approved on a case-by-case basis.
5. All houses visible from a street or public common area including but not limited to corner lots, lots with rear property lines adjoining a street, etc. shall have all four elevations finished consistently with the same detailing, colors, materials and attention as the front elevation. This consistency of architecture on all elevations is strongly encouraged on all other houses.
6. Wrapped porches are required on all corner lots for additional massing diversity. See porch section for additional details and requirements.
7. Build-to lines are established for each lot type. Houses are to be built as close to the minimum front yard / build-to line setback as possible unless steep topography or narrow lot width at street (i.e. cul-de-sac lots) require otherwise and will be reviewed on a case-by-case basis.

9. House locations on atypical sites including difficult topography shall be verified on site including finish floor elevations with ARB prior to proceeding with construction.

Square Footage Requirements, Setbacks and Build-to Lines

1. Maximum and minimum square footage requirements have been established for single family detached housing as noted below:

A Lot: 70' wide, 7,500 SF min. lot, 2,200-3,000 SF house.

B Lot: 65' wide, 6,000 SF min. lot, 1,600-2,400 SF house.

C Lot: 35' wide, 3,750 SF min. lot, 1,200-1,800 SF house.

D Lot: 20' wide townhome lots, 900-1,500 SF house.

NOTE: All finishable floor area is counted. Unfinished basements and large walk-up / walk-in attics are included in the finishable floor area SF limits.

House / lot costs shall be determined by the Developer, Sales Staff and Developer / Builder contracts and will reviewed and updated periodically as required to maintain diversity throughout Powell Place.

2. Setbacks and Build-to lines are as follows:

Lot type	Front	Side	Corner Side	Rear
A Lot	15' (20' max.)	7'	15'	10'
B Lot	15' (20' max.)	7'	15'	10'
C Lot	10'	3'	10'	3'
D Lot	10'	0'	10'	3'

Impervious SF Limitations

1. Powell Place has water quality protection measures as a critical component of the community development. Impervious areas which contribute to stormwater runoff are restricted in order to maintain an overall balance within the community.
2. Impervious surface equals all built-upon area is that portion of a specific lot / site that is covered by impervious or partially impervious materials, including buildings, roofed / covered porches / patios areas, pavement, gravel drives / walks, recreation facilities, etc. Uncovered wooden slatted decks are not considered impervious. Alternate driveway, patio and walk treatments are strongly encouraged (i.e. divided Carolina drives, etc.) to reduce impervious SF. All discrepancies shall be reviewed and approved on a case-by-case basis by the ARB and the Town of Pittsboro Planning Department. Prior to proceeding with any construction or site clearing.

3. The allocated Impervious SF Limitations per lot types are as follows:

A Lot: 2,900 SF
B Lot: 2,900 SF
C Lot: 2,000 SF
D Lot: 1,600 SF

Porches and Decks

1. Front porches will be required on two (2) out of three (3) lots with frontage along the collector roads. On other lots, porches will be required on one (1) out of three (3). See Lot Designation Plan for specific porch locations. Porches are recommended on all lots.
2. Porches shall be functional with the main area of the porch to have a minimum of 7'-0" minimum (8'-0" recommended) between the face of the house and the outside face of the porch column and / or handrail (i.e. 6'-0" minimum clear space, whichever is most critical). The intention here is to provide ample space for furnishings (swing, glider, chairs, etc.) and circulation. Porch space that is used for circulation (such as entry stoops) only may be smaller and will be reviewed on a case-by-case basis.
3. Houses on corner lots shall be designed to architecturally address the corner and both street frontages. Therefore, houses on corner lots shall have porches that wrap the house corner (facing the intersection) at least 7'-0" around the side elevation. It is suggested that additional doors be located on the wrapped porch where appropriate (i.e. private door from a living, dining or bedroom area). Wrapped porches may be deleted on a case-by-case basis if additional unique exterior detailing, side porches, screened porches, etc. exist.
4. All porches, decks and stair risers must be enclosed. Lattice used under front porch must be a horizontal pattern (not diagonal). Lattice shall be wood and painted or stained to match the trim color. Vinyl lattice is typically not allowed unless the vinyl section replicates the same section of a wood lattice and will be reviewed on a case-by-case basis. Diagonal lattice may be used only under rear porches and decks if not visible from street and other public spaces (i.e. corner lot location). Lattice must be framed between structural members and trimmed out in wood. Lattice should be held off of the ground to prevent staining from soil.
5. All exposed vertical wood trim, risers, stringers, posts, columns, bracing, etc. must be painted to match the trim color.
6. All rear decks, porches, screened porches, etc. on corner lots and other highly visible locations (as required by the ARB) must be finished to match the front porch detailing (columns, trim, handrails, horizontal lattice, etc.) and house colors. All screened porches shall be painted to match the house trim color. Additional detailing (i.e. brick piers with concrete cap and tapered wood columns, tapered round columns, triple and double square columns at corners and major elements such as steps, etc.) may be required by the ARB where located on a pond lot, corner lot and visible from a street, or other public space. Lattice is not required on

porches where the finished floor level is less than 2'-0" above finished grade and if additional landscape screening is provided for a solid screen to provide a visual barrier below the deck or porch. Evergreen shrubs are required for decks over 4'-0" above grade.

7. Exposed vertical pickets attached directly to deck framing is not allowed. Horizontal trim is required to cover such conditions. Deck railings shall match front porch railings.
8. Metal porch roofs are encouraged and shall be consistent with the house's design detailing.

Patios

1. Where grades and impervious surface limitations allow, patios are recommended in lieu of decks. See additional notes concerning visible and other decks in the previous porch section. Size of patio should be consistent with the size of the house and yard. All patios will be reviewed with respect to their visual impact on adjacent property.
2. Brick pavers, brick edges, textured concrete, detailed / patterned concrete control and expansion joints, curvilinear shapes and edges, etc. surfaces and materials are encouraged at all sidewalks and patios.

Garages and Carports

1. Elevations must be designed to subordinate garages to the house to the greatest extent possible.
2. Front load projecting garages are not allowed. Front load garages shall not project in front of the main house front façade or porch. Front load garages shall be set-back a minimum of 5'-0" from the front face of any porch / stoop element and a minimum of 20'-0" from the front property line. It is strongly recommended that front load garages be located a minimum of 2'-0" back from the front façade of the house (i.e. heated envelope of house). Note that the porch or stoop is not considered the front facade of the house. In such cases where a front load garage house does not have a covered porch or stoop then the garage shall be located set back 2'-0" from the front face of the house.
3. Garages shall be located opposite the main direction of vehicular traffic where possible and will be reviewed and approved by the ARB on a case-by-case basis.
4. Side-load garages are required where feasible.
5. Detached and rear load garages are strongly encouraged. Rear and side load garages are especially encouraged on corner lots and may be required in most cases.
6. All front load garages and any side load garages facing the street on corner lots shall have single car width doors in lieu of a double width door. Single car width doors will be required also on interior lot side load garages where the garage has high visibility from the street.

Single width garage doors shall be 9'-0" wide. Doors less than 9'-0" are not allowed except as approved by the ARB and Sales Staff on a case-by-case basis.

7. Glass panes in upper garage door panels are required on all Craftsman style houses, corner lots and encouraged on all other architectural styles and interior lots.
8. Garages shall be designed and constructed properly for sufficient space for storage of vehicles and comfortable circulation around vehicles into the house. Steps, mechanical equipment, storage shelving, etc. shall not prohibit vehicle storage and circulation.
9. Garage finished floor elevations shall be coordinated with the main house finished floor elevation a maximum of 2'-0" difference to minimize amount of steps (3 risers maximum) from garage to main house and minimize the amount of siding and trim above the garage doors. Additional attention and detailing is required over garages where large areas of siding exist (i.e. use of roof elements, trellis, etc.). Finished floor elevations on lots with questionable (i.e. moderate to severe) topography shall be reviewed and approved on site by the ARB on a case by case basis prior to beginning construction.
10. All detached garages, carports and storage buildings shall be finished to match the main house detailing and colors. Detached structures are not allowed in front or side-yards, or locations that obstruct the view of public or other natural areas by adjacent properties and will be reviewed and approved on a case-by-case basis. Detached garages, carports and storage / accessory buildings require notification of adjacent neighbors and their right to dissent and meet with ARB where views from their property are compromised.

Exterior Colors and Materials

1. Recommended color schemes have been prepared by the developer and are available in the Powell Place Sales Office for customer selection. A list of these color schemes and a Color Selection Form are included in the Appendix.
2. One color scheme must be selected and submitted to the ARB for review and approval prior to painting house. In case of conflict with existing homes, another color choice may be required for ARB review and approval. Review the Powell Place files and adjacent house colors for color coordination and prevention of color duplication prior to submittal.
3. Color schemes outside of the recommended color spectrum will be considered on a case by case basis. Colors other than those selected from the color selections at the Powell Place Sales Office shall be submitted with color chip samples (minimum 2" square in size) for ARB review and approval. Larger color samples or actual samples painted on the house may be required.
4. Colors should be submitted with the original house submittal to best assure your first choice selection. Note: Color selection approval based on a first-come first-serve basis.

5. Various exterior colors are encouraged on the same house (i.e. siding, siding in gable ends, dormers, doors, shutters, window sashes, etc.).
6. Brick colors shall be in the red / brown range only and shall be submitted for ARB review and approval with the formal lot submittals / proposals. Painted brick is also allowed. All other brick colors (especially lighter colored brick) will be reviewed on a case-by-case basis.
7. Garage doors shall be painted to match the trim color typically or as directed and approved by the ARB to minimize the impact of the garage doors on the streetscape. The garage door color shall be designated / requested on the Color Selection Form.
8. Fences in side and rear yards may remain unfinished. However, fences in front yards and locations visible from street (i.e. side yard fences facing street, corner lot fences facing and visible from streets and the ponds, etc.) shall be painted to match the house trim color.
9. Asphalt shingles and metal roof materials are allowed and the color and texture shall be consistent with the house's design and detailing. Shingles colors shall be submitted to the ARB for review and approval prior to beginning construction.
10. All roof mounted equipment and penetrations (i.e. plumbing vents, HVAC vents, ridge vents, skylights, attic fans, etc.) shall be painted or finished to match the roof color.
11. Gutters and downspouts may be exposed only if painted to match the color of the adjacent trim, wall, column, etc. color. Aluminum and copper gutters and downspouts are allowed. Vinyl gutters and downspouts are typically not allowed and will be reviewed on a case-by-case basis.
12. Accent colors on doors, window sashes, upper gable ends and dormers, etc. are strongly encouraged.

Walls and Fences

1. Fencing can detract from the open character of Powell Place property and may have both a visual and a physical impact on adjoining property. Careful consideration must be given to the fencing concept and execution. In Powell Place, the only acceptable reason for yard fencing is to restrict the movement of children or pets to or from their property. Privacy is not a reason for fencing. If the desired end is privacy, this should be addressed with landscaping. An "open" type fencing is preferred. See acceptable fence types and details in the Appendix.
2. Whenever possible, alternatives to hard fencing should be used. The use of landscaping and plant material, or combinations of plants and short segments of fencing, or fencing hidden in plant material may achieve the sought-after goal.

3. All fences visible from streets (front, side and rear yards) shall have additional landscape screening as directed by the ARB and shall be painted to match the house trim color.
4. Certain lots, due to street grades, may require masonry retaining walls to accommodate the grades. Retaining wall material(s) shall match that of house. Where walls abut at property corners the ARB shall review plans and elevations.
5. Solid fences are not allowed (minimum 1" spacing between pickets).
6. Rear yard fence height shall not exceed 6'-0" (4'-0" and 5'-0" are strongly recommended). The lower section may be "solid" (i.e. 1" spacing between pickets) up to 5'-0" and the upper remaining 1'-0" section shall be horizontal or diagonal lattice, vertical pickets, or other approval open screening detailing.
7. Front yard fences shall be a wooden painted picket style at a maximum of 3'-0" high. Front yard fences must be different in some way from any other fence within 5 houses on the same street.
8. Rear yard type fences shall not align with or project in front of the front edge of house and shall be set back a minimum of 10'-0" from front face of house or align with a major element or the rear of house. Fences in side yards of corner lots shall not project any closer to street than the face of the house or a major element (i.e. porch, deck, etc.) as approved by the ARB on a lot by lot basis.
9. Fences in rear yards of houses on lots whose rear or side yards are adjacent to the ponds shall not exceed 4'-0" in height and shall be screened with plant material and be of an open metal or wood fencing detailing (i.e. 4" to 6" picket spacing).
10. Fencing shall be a visual extension of a building and should relate to the materials, colors, and architectural style of the building.
11. Fencing finished on only one side must be constructed with the finished side facing out.
12. Pool enclosures, related to children's safety or other reasons, shall be subject to consideration by the ARB on an individual basis and shall meet all applicable code requirements.
13. Property owners are cautioned that building a fence that infringes on easements, buffers, or access of right-of-ways, may result in destruction or removal of fence at the cost of the owner for repairs / replacement.
14. Existing topography, drainage, and landscaping shall not be disturbed for the construction of a fence except with the approval of the ARB. Wherever possible, fences should be located so that trees do not have to be removed.

- 15. Vinyl fencing is allowed and will be reviewed on a case-by-case basis.
- 16. Chain-link fences are not allowed.
- 17. Split rail or horse farm type horizontal railing fences, are not allowed.
- 18. All fence details and locations must be reviewed and approved by the ARB on a lot by lot basis.
- 19. Low stone and brick masonry walls are allowed and encouraged.
- 20. Photographs and details of some approved fences are included in the Appendix.

Driveways and Walkways

- 1. "Carolina" divided driveways are encouraged to give visual relief to longer driveways. The dimensions for the Carolina drive shall be 2' - 6" wide concrete on each side of a 2' - 6" wide sod strip for a total width of 7' - 6". Carolina drives should begin and end allowing required turning radius to avoid driving on center sod strip. Carolina drives should only be used where proper turn arounds are provided to allow for driving forward into and out of drive area to avoid damage to sod infill. Carolina drives should also be avoided where extreme topography may exist and therefore hindering proper vision up and down drive. Brick pavers, textured concrete, stone, etc. are encouraged as an alternative infill in the sod strip area.
- 2. Parking will not be permitted on areas where the subdivision's drainage flow may be interrupted.
- 3. Driveways and vehicle parking pads shall be paved with a hard surface material such as concrete, exposed aggregate in concrete, concrete stone or brick pavers. Any type of pad other than naturally colored concrete shall be reviewed and approved by the ARB on a case-by-case basis. Asphalt driveways are not permitted. The aggregate base, thickness, reinforcement, etc. should comply with good construction practices. Close attention must be paid to driveway, garage, carport, etc. placement, setbacks and encroachment onto buffer areas, association owned common property and neighboring lots. Curb cuts/aprons shall be built to City of Pittsboro standard specification and detail.
- 4. Reduce width of drive at the street to single car dimension.
- 5. Additional driveways will not be permitted for parking purposes except in front of the garage or as approved by the ARB.
- 6. Shared driveways are permitted. However adequate space shall be provided for turn-around space and parking.

7. Parking and storage of trailers, camping trailers, boats, recreational vehicles, etc. will not be allowed on site unless screened totally from view from the street and adjacent houses (i.e. landscaping, fences, garage storage, additional storage building, etc.).
8. Walkways (minimum of 36" in width) are required to extend from the front door to the street sidewalk in a perpendicular or curvilinear orientation. This may be waived on lots that require the house be set back a substantial distance from the street (i.e. cul-de-sacs) and where existing trees prohibit. Where the grade and length allow, steps and multiple landings within stringers in the walkway to street are encouraged. Stringers, brick paver detailing, textured concrete, etc. are also encouraged on all walkway steps. Walks shall be constructed of poured-in-place concrete, brick pavers, concrete pavers or stone. Patterns or alternate paving surfaces may be used if they are in keeping with the materials of the principal structure and design detailing. Any material other than naturally colored concrete shall be reviewed and approved by the ARB on a case-by-case basis. Extension of walk into "Tree Lawn" between public sidewalk and curb shall be naturally colored concrete, unless approved by the ARB on a case-by-case basis.

Exterior Lighting

1. Post lights are encouraged and must be approved prior to installation.
2. Site lighting shall be low intensity, and when used, should be used to accent entrances and special features. Overall high levels of light are not desired or allowed. Intensity should be no greater than required for pedestrian safety, other than as accent on landscape plantings or buildings.
3. Exterior lighting shall be shielded from adjacent properties.
4. Building-mounted floodlights shall be provided with shields for the lamps. Lights shall be aimed downwards, and away from adjacent properties. No floodlights shall be allowed on the front elevation or the front corners of any house.

Mailboxes

1. All single family homes built at Powell Place are required to have a standardized mailbox and pedestal. The mailbox structure shall be installed at the front of the lot, at the edge of the road pavement, to the left of the driveway, as seen from the street. The standardized mailbox design has been selected by the developer. Contact East West Partners, Bryson Powell, Project Manager (919-929-0660) for details.

Dog Houses and Runs

1. Dog houses should be located so as not to be obtrusive. They should be painted to blend with their immediate surroundings or left to weather naturally.
2. Landscaping may be required to soften the structures visually.
3. Dog runs must generally follow the guidelines for fencing. Pre-fab chain-link dog runs generally will not be approved unless totally screened by wood fencing or located in a heavily planted area and black or dark green in color.

Play Equipment

1. Play equipment shall be placed in rear yards. Consideration should be given to lot size, equipment size, material, design, amount of visual screening, and relationship to neighboring property.
2. Equipment constructed from natural materials is encouraged.
3. Painted metal play equipment, not including wearing surfaces (e.g. slides, sliding poles, and climbing rungs) shall be painted dark green or brown to blend with natural areas.
4. Tree houses are generally discouraged because of their visibility from neighboring property and are reviewed on a case by case basis. Detailing shall be consistent with the house's design, detailing and colors.
5. Playhouses must be placed in rear yards and must be in scale with the size of the yard and existing buildings. The playhouse must be painted to blend with the natural open space or with the colors of the house if the house is located nearby. Natural vegetation or additional landscaping should screen playhouses, as well as play equipment.
6. Skateboard, bike, and other type ramps are not allowed.
7. Above-ground swimming pools will not be approved. In ground swimming pools are allowed and will be reviewed on a case by case basis prior to beginning construction. Pools shall comply with all local, state, etc. safety codes and requirements.
8. Permanent and / or mobile basketball goals (and other similar equipment) are not allowed to be mounted on the house and / or located in yard where highly visible from the street or public areas. Basketball goals (in-ground mounted preferred) are allowed in rear yards and deep side yard side / rear load drive areas if not highly visible from the street or public areas. All basketball goals will be reviewed and approved on a case-by-case and lot-by-lot basis.

Retaining and Screen Walls

1. Retaining walls shall be unobtrusive as possible and built to the minimum height needed to serve their function.
2. Materials may be brick, natural stone, synthetic stone, square corner timbers, or concrete, depending on location and contextual relationship. Generally, rounded landscape timbers will not be approved due to their lack of stability when used to retain earth, the strong horizontal lines created by the juxtaposition of the timbers, and their appearance.
3. The ends of the walls should be tapered into the ground rather than abruptly ending in space. If the height of the wall would require a railing to comply with county building codes, the applicant should consider stepping the wall in a terracing effect.
4. Mechanical equipment should be concealed and located so as not to have an adverse effect on the use of adjacent property.
5. Landscaping will usually be required to soften the visual impact of retaining walls, screen walls, and other exposed structures.
6. All garbage and recycle containment and receptacles shall be located inside house or garage or totally screened from view.

Tree Removal

1. When people think of Powell Place, they see trees. Please, protect and preserve them.
2. Provide a protective barrier during construction. Trees damaged due to trenching adjacent to the root zone must be removed and replaced with a 2" minimum caliper tree with species as approved by the ARB.
3. No live ornamental trees (e.g. holly, dogwood, redbud) may be removed without specific written approval.
4. No live deciduous or evergreen trees the trunks of which are six or more inches in diameter as measured two feet above grade may be removed without specific written approval.
5. Removal of live trees will be approved if their continued existence would be detrimental. In many cases, the ARB may require replacements. "Detrimental" conditions include physical intrusion by trees, roots, and branches on buildings or other structures in a way that could cause damage, excessive shade, or could block paths and sight lines from vehicles. Overgrowth may also be considered detrimental.
6. Trees damaged by storms or other events may be removed without approval.

Awnings

1. Awnings may be appropriate for rear or side-yard patios and decks, or even exposed rear entrances.
2. Awnings must be consistent with the architectural style and scale of the house. The color of the fabric must be compatible with the existing house colors. Any exposed frames must be painted to match the trim or the dominant color of the house.

Satellite Dishes

1. Provide specifications on size and color of dish and proposed location. The ARB reserves the right to deny the request if it is determined that the location of the dish would make it unsightly from the street. Dishes larger than 2'-0" in diameter are not allowed. Dish color shall be match house or trim color where possible, as determined by the ARB.

Signage

1. Construction and builder/subcontractor signage is restricted to the format as approved by the developer. Sub-contractor and vendor signage is not allowed.

Utilities

1. Each lot is responsible for the location/verification of all utilities prior to the commencement of any clearing or grading activity.
2. Any discrepancies must be brought to the immediate attention of the ARB before any clearing begins.
3. Location of utilities after clearing operations have commenced will be the responsibility of the lot owner.

Port-A-Johns

1. The provision of port-a-johns are required per local ordinances and must be placed outside the street and utility rights-of-way in order to permit the timely placement of utilities.

Landscaping and Site Development

1. All landscaping will be in accordance with the requirements of the City of Pittsboro Guidelines. Nothing herein shall be construed to be less than nor to reduce the requirements of those documents. In particular, streetscape and buffer requirements shall be adhered to.
2. A typical landscaping plan is required. Indicate types of plants, sizes and locations. The final landscape design should be integrated into the design of the home, from its inception. The use and preservation of native and naturalized landscape materials is strongly encouraged. Planting plans should strive to have as strong an impact as possible at the time of installation. New planting compositions should employ simple plant massing and a limited palette of plant types in order to build unity and cohesiveness in the design.
3. The ARB may require additional landscaping to create adequate screening and privacy from the street and adjacent lots. The following minimum landscaping requirements shall apply.
4. The paving and drainage design for Powell Place, including curb and gutter, shall not be altered in any way. Homebuilders and homeowners shall refer to site development drawings for any information of these areas.
5. Buildings and landscape material shall be placed on the site so the maximum number of desirable trees and other natural features are preserved. The site shall be finish graded to prevent ponding or soil erosion on the site or adjacent property.
6. Encroachment Permits are required by the City of Pittsboro for irrigation systems located in the public R/W. Irrigation coverage of yards is encouraged. The irrigation system shall be permitted by, and constructed to City of Pittsboro Standards. The irrigation system shall be automatically controlled by a time clock and backflow prevention device. Pop-up sprinklers or drip system shall be used. No permanent risers shall be allowed. An irrigation plan shall be submitted with the landscape plan. It shall be at the same scale as the landscape plan. All head locations, pipe sizes, valve locations shall be shown. All equipment shall be identified on the plan.
7. Landscape lighting shall be low intensity, and when used, should be used to accent entrances and special features. Overall high levels of light are not desired. Intensity should be no greater than required for pedestrian safety, other than as accent on landscape plantings or buildings. Exterior lighting must be shielded from adjacent properties.
8. Rear decks that are visible from the street or adjacent lots must be underpinned with horizontal lattice and/or landscaped for screening. Evergreen shrubs are required for decks 4'-0" or more above grade.
9. Fescue sod is required for all homes in Powell Place. This must be installed prior to closing and shall extend from the back of curb to the front of the house and a minimum of 10' along the side yards. Corner lots must also sod side yards to rear of the lot. However, mulched

natural areas are permitted on up to 60% of the side yard.

10. Included below is a list of the minimum amount of landscape material required for each lot. Many situations will require additional large evergreen shrubs to soften the impact of blank walks and/or garage entries. Evergreen shrubs may also be required to create privacy between homes.
11. Any plant material that dies or becomes unsightly after installation will be replaced by approved plants within 30 days of notification by the ARB.
12. Screening shall be provided for all service areas, meters, HVAC equipment or as otherwise specified by the ARB. Screening shall consist of one or more of the following methods: A planting screen consisting of a minimum of two staggered rows of evergreen shrubs with a minimum height of four feet installed and spacing that will form an effective visual screen or a wall or fence of a material specifically approved by the ARB.
13. No fence, wall, hedge, shrub planting or grades, which may obstruct vehicular sight distance, shall be permitted at any driveway turnout or intersection. No fence, wall, hedge, shrub or trees may be planted on any street right of way except as approved by the ARB.
14. Permanent exterior clotheslines are not allowed.
15. Lawn ornaments, freestanding flagpoles and lantern poles, flood lights and security lights, and fishponds require approval of the ARB. Items not requiring approval of the ARB include holiday decorations, and for sale, for rent, garage sale, yard sale, and political campaign signs provided that such signs are in accordance with standards set forth by the ARB. These types of signs are also regulated by the City of Pittsboro, and those code standards shall also be honored. On the items which don't require approval, the ARB reserves the right to request a homeowner to remove an item if surrounding homeowners complain and if, upon inspection, the ARB considers the item unsightly or a nuisance.

Minimum Landscape Requirements

Foundation Shrubs-Low Growing

Quantity	Size	Spacing	Notes
12 (more if needed)	18"-24"	30" o.c. Max	Holley, Boxwood, Hawthorn, Abelia, Euonymus, Dwarf Buford, Nandina, etc.

Foundation: Accent Shrubs-Medium Growing

8	3'-4'	5'-0"	Holly Boxwood, Acuba,
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(more if
needed)

Camella, Ligustrum,
Elaeagnus, Juniper,
Wax Myrtle, Osmanthus,
Pyracantha, etc.

Large Evergreen Screen or Accent

2	7'-8'	8'-0" to -10'-0" O.C.	Magnolia, Wax Myrtle, Ligustrum, Osmanthus, Pines, Pyracantha, Viburnum, etc.
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Flowering Accent Shrubs

4	24"-30"	N.A.	Quince, Hydrangea, Jasmine, Rhododendron, Rose, Spirea, Camellia, Forsythia, etc.
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Flowering or Accent Tree

1	1.5"-2" (7-8)	N.A.	Dogwood, Plum, Cherry, Serviceberry, Redbud, Japanese Maple, etc.
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Street Tree

1,2 or 3	2.5"-3"	N.A.	Placement to be determined by the ARB.
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1. Street yard trees shall be installed by the builder between the curb and sidewalk. East West Partners shall approve and/or flag the location for all street trees. The street tree requirements per the specific parcels and streets are to be determined by the ARB as the community progresses.
2. The Homeowner's Association is responsible for the health and survival of all street trees after the first year.

Recommended Plant Materials

Powell Place and its surrounding areas is rural in character and are home to a large deer population. The damage that deer cause to new ornamental landscaping requires that careful consideration be given to the selection of the plant material. The following list represents recommended plants by the North Carolina Wildlife Resources Commission that have shown minimal or no browsing by deer. The animal's tastes and habits change and this list is not fool proof. However, homeowners have experienced good success with many of these plants. The ARB makes no guarantees regarding the appeal of these plants to the resident deer population.

Annuals:

Snapdragon	Antirrhinum
Begonia	Begonia sempervirens
Morning Glory	Ipomea
Lobelia	Lobelia erinus
Scented Geranium	Pelargonium spp.
Salvia	Salvia, all varieties
Marigold	Tagetes sp.
Common Zinnia	Zinnia elegans
Narrowleaf Zinnia	Zinnia linearis

Perennials:

Anemone	Anemone sp.
Butterfly Weed	Asclepias tuberosa
Astilbe	Astilbe
Butterfly Bush	Buddleia davidii
Shasta Daisy	Chrysanthemum x supurbum
Lily-of-the-Valley	Convallaria majus
Coreopsis	Coreopsis
Pinks	Dianthus
Bleeding Heart	Dicentra
Foxglove	Digitalis spp.
Purple Coneflower	Echinacea
Lenton Rose	Helleborus
Coral Bells	Heuchera
Candytuft	Iberis sempervirens
Beebalm	Monarda didyma
Daffodils	Narcissus sp.
Balloon Flower	Platycodon

Woody Shrubs, Groundcovers and Trees:

Maples	Acer
Barberry	Berberis, all varieties
Birch	Betula
Common Boxwood	Buxus sempervirens

American Beautyberry	<i>Callicarpa dichotoma</i>
Flowering Quince	<i>Chanomeles japonica</i>
Summersweet	<i>Clethra alnifolia</i>
Cotoneaster	Cotoneaster, all varieties
Hawthorne	<i>Crataegus</i>
Deutzia	Deutzia
Burning Bush	<i>Euonymus alatus</i>
Beech	Fagus
Carolina Jessamine	<i>Gelsemium sempervirens</i>
Fosters Holly	<i>Ilex attenuata</i>
Chinese Holly	<i>Ilex cornuta</i> , sp.
Japanese Holly	<i>Ilex crenata</i>
Inkberry Holy	<i>Ilex glabra</i>
Dwarf Yaupon Holly	<i>Ilex vomitoria</i> , recovers well
Juniper	<i>Juniperus</i> , all varieties
Crape Myrtle	<i>Lagerstroemia indica</i>
Varigated Privet	<i>Ligustrum sinense</i>
Ligustrum	<i>Ligustrum sinensis</i>
Monkey Grass	<i>Liriope</i> , all varieties
Southern Magnolia	<i>Magnolia grandfolia</i>
Dawn Redwood	<i>Metasequoia</i>
Ornamental Grass	<i>Miscanthus</i> , various varieties
Nandina	Nandina, all varieties
Japanese Andromada	<i>Pieris japonica</i>
White Pine	<i>Pinus alba</i>
Firethorn	<i>Pyracantha</i> , all varieties
Spirea	Spirea
Stewartia	Stewartia
Abarvitae	<i>Thuja orientalis</i>
Hemlock	<i>Tsuga canadensis</i>
Viburnum	Viburnum, deciduous varieties
Periwinkle	<i>Vinca minor</i>

The above is a partial list at best. There are a number of other plants, which may be well suited for installation here on the property. As the ARB is made aware of these plants they will be added to this list. The following is a list of those plants that have been severely damaged by deer on the property.

Heavy Browsing – Not Recommended:

Camellia	Camellia, all varieties
Cleyera	<i>Cleyera japonica</i>
English Ivy	<i>Hedera helix</i>
Daylilies	<i>Heemerocallis hydrida</i>
Hosta	Hosta, all varieties
Oakleaf Hydrangea	<i>Hydrangea quercifolia</i>
Carissa Holly	<i>Ilex cornuta carissa</i>

Nellie R. Stevens Holly	Ilex x Nellie R. Stevens
Honeysuckle	Lonicera sempervirens
Leucothoe	Leucothoe populifolia
English Laurel	Prunus laurocerasus
Rhododendron	Rhododendron hybrida
Azaleas	Rhododendron hybrida, all varieties
Roses	Rosa hybrida
Viburnum	Viburnum, evergreen varieties
Pansies	Viola, all varieties

Construction Maintenance and Miscellaneous

1. During construction, all debris shall be placed in a single location on the lot of the construction site only. The debris shall be contained by some type of barrier (e.g. wire fencing) to assist in keeping the debris from being scattered. This barrier shall also include a large waste can with a top that has a sign indicating misc. paper waste (i.e. lunch waste).
2. Weekly (Fridays required) and after construction is completed, no debris or trash of any kind shall remain on any lot, or on sidewalks or streets contiguous thereto. No excess building material, storage shed or trash shall remain on such a lot, sidewalk or street. It is hereby made the duty of the homebuilder or his agent, or the homeowner, to remove or cause to be removed any and all of the above debris within 72 hours of notification by the Powell Place Homeowners' Association. Failure to comply with the request will cause removal of the debris by action of the Powell Place Homeowners' Association and all related costs will be charged to the homebuilder or the homeowner.
3. During construction, all streets shall be kept clean of mud and trash and all broken curb or paving shall be promptly repaired.
4. It is the primary responsibility of each homeowner to maintain their property in a way that it does not detract from the overall beauty of the Powell Place Community. Following is a list of such areas that should be reviewed on a regular basis to ensure that your home is in good repair. Shrubbery, trees, and lawns. Driveways and sidewalks. Decks. Fences. Play equipment. Roofing. Wood. Paint and stain. Garbage can storage.
5. If at any time the ARB or the Powell Place Homeowners' Association is made aware of a property that has deteriorated to the point that it is affecting the aesthetics of the Powell Place Community, representatives of the Association will make a site inspection. Based on the severity of the deterioration, the homeowner will be given a specified length of time to make the necessary repairs. If after that time, the repairs have still not been made, the Association may be forced to take more strenuous action and all related costs will be charged to the homebuilder or the homeowner.
6. There are many changes and additions that property owners can make to their property. The ones described in these Guidelines are the most common. If the project is not included

in the Guidelines, refer to the one that is closest in concept to your project and use it as a guide for preparing an application to the ARB.

7. Most of all, in all that is proposed, consider the neighbors and neighborhood to provide the best aesthetic and quality project possible.

APPENDIX

Architectural Style References

- Craftsman
- Colonial Revival
- Greek Revival
- Neo-Classical

Architectural Examples and Details

- Pittsboro Architectural Examples
- Other Architectural Examples
- Garage Door Examples
- Finished Rear Elevation
- Porch and Deck Finishing

Approved Fences and Examples

- Front Yard Fences
- Rear Yard Fences

Color Schemes

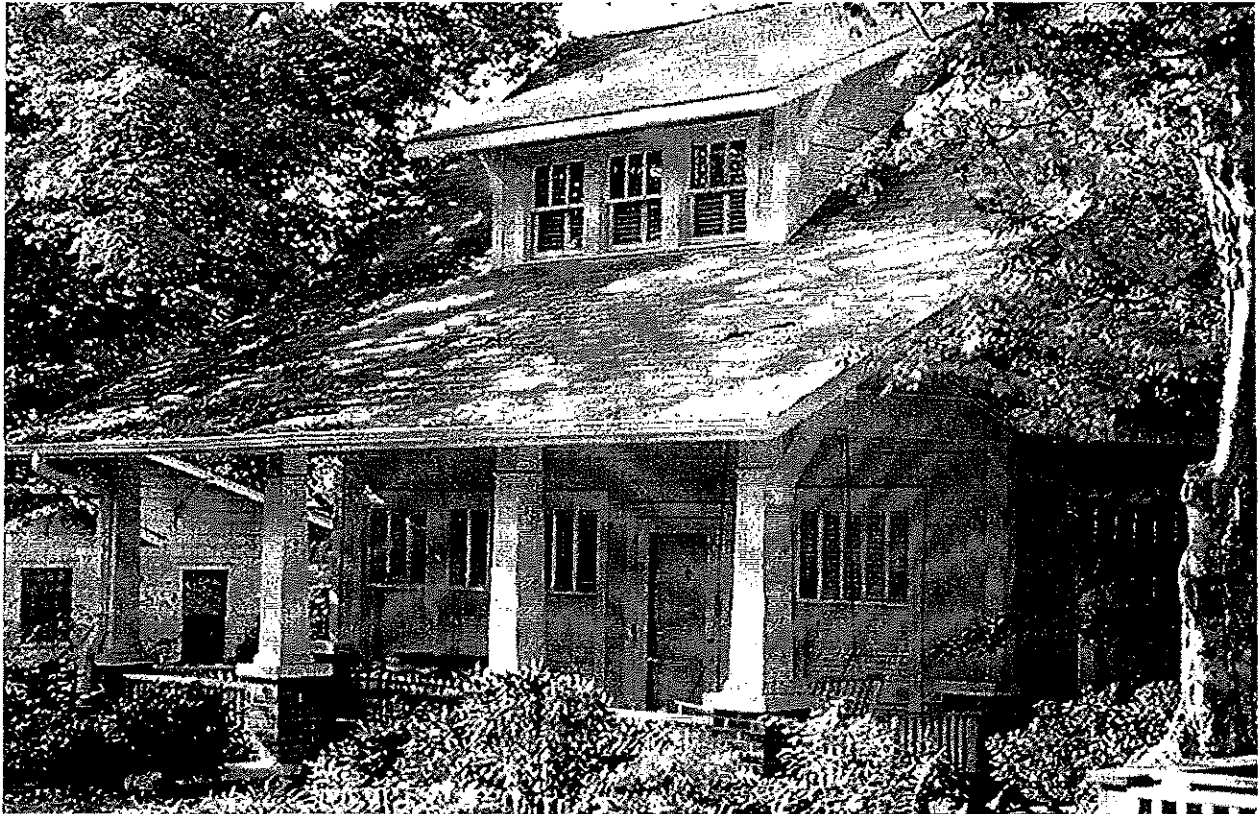
- General Notes
- Recommended Color Schemes

Submittal Forms

- ARB Submittal Checklist
- Color Selection Form
- ARB Alterations and Additions Submittal Checklist

ARCHITECTURAL STYLE REFERENCE

CRAFTSMAN



CRAFTSMAN

Craftsman style architecture can be developed in several forms and with many characteristics unique to the craftsman look. These homes have low-pitched, gable roofs and unenclosed eave overhangs. The roof rafters are often exposed and false beams (normally three) or knee-braces are commonly added under the gables. The porch and its details act as a strong symbol for the craftsman style.

ARCHITECTURAL STYLE REFERENCE – CRAFTSMAN, CONT'D.

The porch is supported on piers that extend from the ground past the floor plane. They are constructed from brick, CMU's, shingles, stucco or stone, and continue to the roof themselves or support any number of wooden column types. Variations in wooden columns include square and tapered, straight and square and double columns. It is also important to choose a well-detailed handrail for the porch.

There are four main variations in overall form for a craftsman house. On the front-gabled roofs, the main roof is used to shelter the front porch on most one-stories, but a second gable can also be projected out from the front of the house. Side-gabled roofs often contain the porch under the main roof as well; a break in the roof slope often accentuates the porch. Two-story side-gables incorporate a full-width porch and either shed or gambrel dormers. Crossed-gabled roofs are also popular. The cross-gable on many of these houses is formed by a partial width, front gabled porch – although other porch styles can be used. The fourth form, hipped roofs, are less popular than the others because of the lack of detail. The roof style deprives the builder of opportunities for exposed roof rafters and other common details used in craftsman architecture, so the home often resembles a prairie style. From these basic forms, a builder can incorporate any number of details and variations of the forms themselves to create an interesting aesthetic.

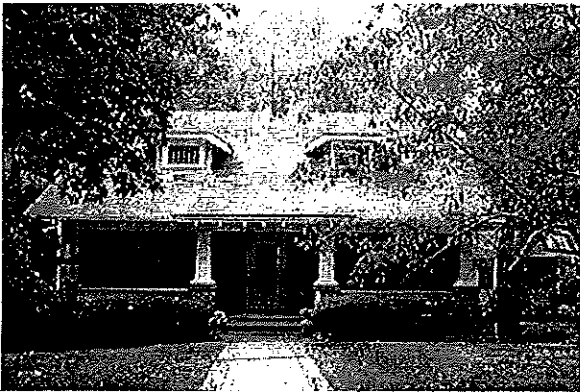
Diverse roof styles, building massing and materials are emphasized. Roof brackets and roofs with wide overhangs (1'-6" to 2'-6" wide and 1'-0" wide at dormers) are strongly encouraged. Roof brackets or braces shall be constructed of 4" x 4" wood members minimum. Large "bungalow" style dormers (i.e. shed, gable, hipped, etc.) are encouraged and may be required on some 1 and 1-1/2 story Craftsman houses.

Continuous horizontal trim at the base of siding and above window / door heads is a primary element in Craftsman (and some revival types) style architecture. The Craftsman style also includes simple square edged exterior trim including wide window and door trim. Textured finish materials such as shakes or a different width siding are emphasized at gable ends of roofs and around dormers. The emphasis also applies to trim detailing at gable ends and dormers.

Various muntin configurations should be used in windows (i.e. no muntins upper and lower sashes, 2 over 1, 4 over 1, 6 over 1, etc., prairie style muntins, etc.). Various shaped windows are encouraged (i.e. cottage style windows, special shape windows such as rounds, ovals, etc.). Various special window configurations are encouraged (i.e. triple window including one 6 over 1 center window with 4 over 1 side windows). Half glass doors (with various muntin configurations matching the window muntins) and doors with sidelites contribute to the architectural correctness of the Craftsman and Bungalow style houses.

Reference: "A Field Guide to American Houses" by Virginia & Lee McAlester

A black and white photograph of a two-story house with a prominent front porch, surrounded by dense foliage and trees. The house features a gabled roof and multiple windows, some with shutters. The porch is supported by columns. The image is framed by a thick border of leaves and branches, suggesting a wooded or garden setting.



ARCHITECTURAL STYLE REFERENCE

COLONIAL REVIVAL



COLONIAL REVIVAL

Houses built as colonial revivals have a wide range of history to draw from and many sub-forms and important characteristics denoting their style. Prominence is given to the front door with a pediment of varying shapes supported by pilasters. This pediment can also be extended forward and supported on slender columns to form a small entry porch. The door normally has overhead fanlights and or sidelights. The facade is typically symmetrical with respect to the windows and the door is almost always centered. Windows have double hung sashes and multiple glazing in one or both sashes.

ARCHITECTURAL STYLE REFERENCE – COLONIAL REVIVAL, CONT'D.

Colonial Revival is accepted as nine different sub-forms. It can be asymmetrical with free-form facades or boxed with hipped roofs and full-width porches. Homes are also built as side gables with one or two stories. When the side gable is two stories, a centered front gable is often added to this form to further accentuate the front door, or the second floor can be pulled out to overhang the first. Gambrel roofs are also used, as well as, three story homes capped with a low sloped hip roof.

From these forms, combinations can be used to further extend the builder's pallet. Both shed and gable dormers are frequently used in these homes. They can be individual or continuous dormers depending on the application. One-story side rooms with flat roofs were also added on frequently. Whether Georgian, Adam or Dutch, there are many possibilities for a Colonial Revival home.

Reference: "A Field Guide to American Houses" by Virginia & Lee McAlester

A black and white photograph of a large, multi-story wooden house. The house features a prominent chimney on the left side and a covered porch area on the right. The architecture appears to be from the late 19th or early 20th century. The house is surrounded by trees and foliage, with a large tree in the foreground on the left. The image is somewhat grainy and has a high-contrast, almost woodcut-like quality.



ARCHITECTURAL STYLE REFERENCE

GREEK REVIVAL AND NEOCLASSICAL



GREEK REVIVAL

Many important features characterize Greek Revival architecture. The roofs of these buildings can be gabled or hipped with a low slope, and are underlined with a wide band of trim. The band can be constructed of plain boards or nicely decorated, and is divided into two parts - the frieze above and the architrave below. The porch is also an important feature. Whether an entry porch or full width, it is supported by prominent round or square columns and they are often in Doric, Ionic or Corinthian styles. The front door should be prominent as well. Most doorways are part of an elaborate surround incorporating narrow sidelights and transom lights above.

ARCHITECTURAL STYLE REFERENCE – GREEK REVIVAL AND NEOCLASSICAL, CONT'D.

By adapting roofs and porches, six main types can be derived. The first type minimizes the front porch or removes it altogether. The porch is confined to the entry, reaches less than the full height of the façade, and often recesses into the facade. More commonly, full height entry porches are used. These porches are often recessed into the facade as well and have either flat roofs or pediments on top. The full height porch can also be extended to full width. These are covered either by an extension of the main roof or with a flat roof. They also can wrap around one or both sides.

If a front gable is used, two more types are available. A basic front gable can either have a full width porch, colonnaded under the main roof, or a smaller porch with a gable of its own. Adding a wing to one side can further alter the side gable. The wing should be lower than the main façade, however. The final type is a narrow urban dwelling where attention is given to the details rather than the form. These can be constructed with or without porches.

NEOCLASSICAL

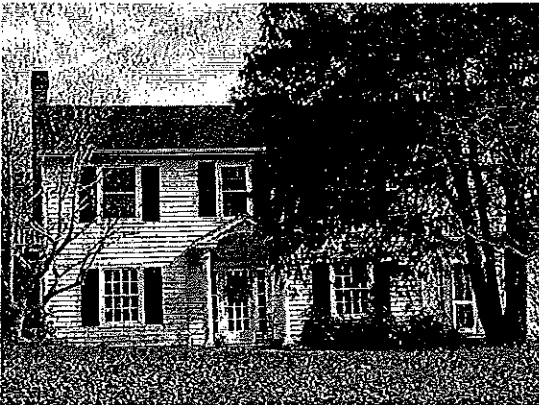
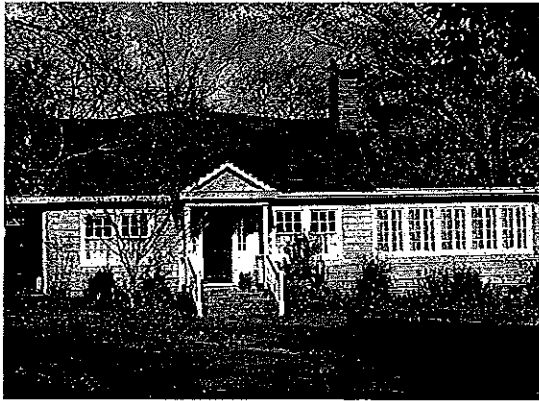
Neoclassical architecture follows a few rules of style. The windows and doors are symmetrical on the front facade. The building is set behind a dominating full height porch supported by classical columns, which are typically Ionic or Corinthian. Although a full height entry porch is common to all buildings, there are still variations of the form.

One variant has a less than full width entry porch centrally located on the front façade. These porches carry pediments most of the time. A variation of the first example can be achieved by adding lower wings onto the porch, making it full width as a one story, but full height in the middle – pediments are used here also. Another common form uses a full width porch that is full height as well. These porches are covered by either extending the roof on a front gabled house, or with a flat roof on a side gable. The neoclassical style can also be incorporated into a one story. These have hip roofs and either a full width or partial porch. The hip can be extended over the colonnade or a separate flat or shed roof can be used. More subtle details can also be manipulated for variation within the Neoclassical style. Doorways are often very elaborate and are based on Greek Revival precedents. A cornice is also common with a moderate overhang and dentils or modillions beneath. Early precedents use windows with double sashes with 6 or 9 panes. Almost every other type of window has been incorporated in latter designs, however. Roof-line balustrades are another common feature of the Neoclassical style.

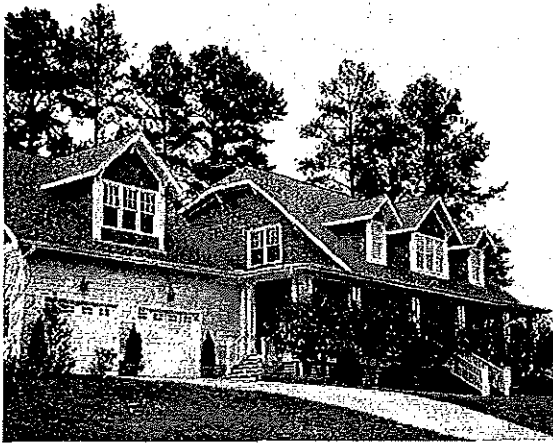
Reference: "A Field Guide to American Houses" by Virginia & Lee McAlester

ARCHITECTURAL EXAMPLES

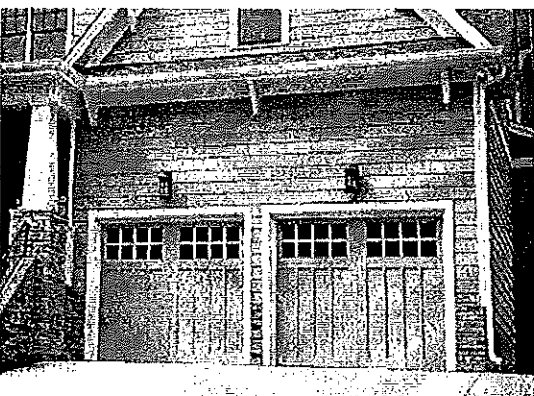
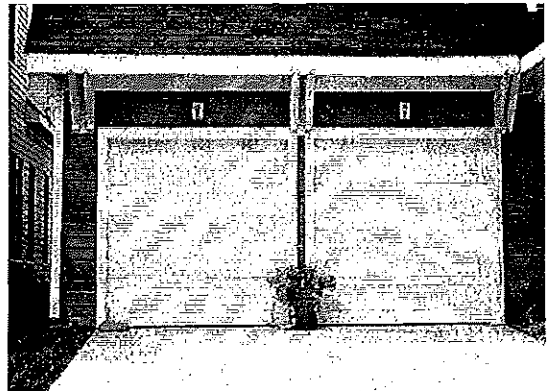
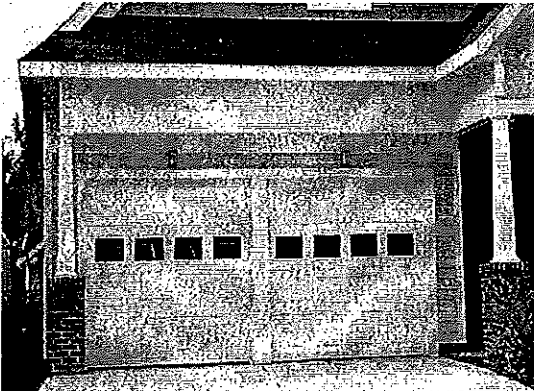
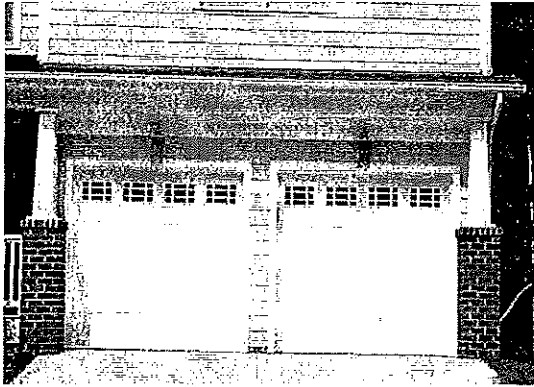




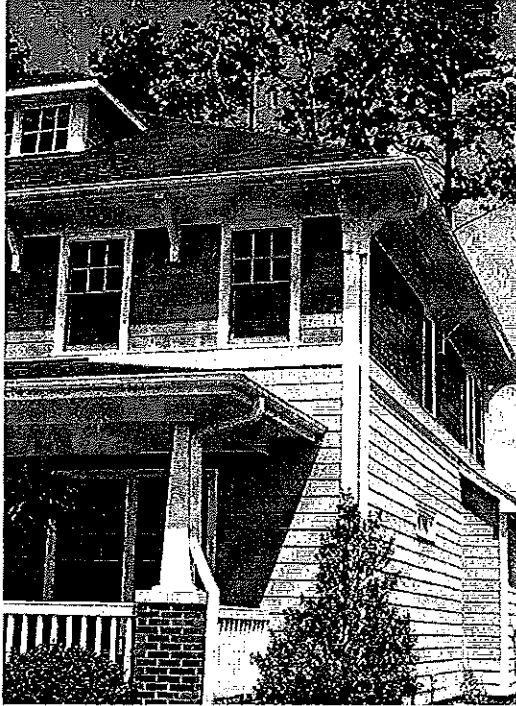




GARAGE DOOR EXAMPLES



FINISHED REAR ELEVATION



Rear elevations shall be finished in the same architectural style detailing and finishes where these elevations are highly visible from other streets, parks, homes, etc. where the truly completed house compliments the Powell Place neighborhood. Decks are required to be finished to match the front porch detailing and finishes also where located on corner lots and other highly visible locations.



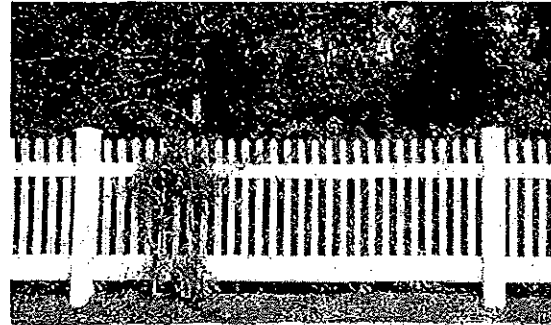
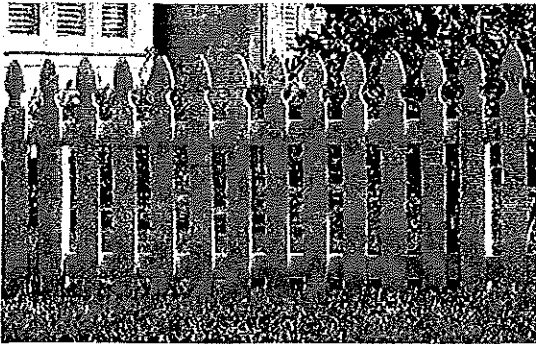
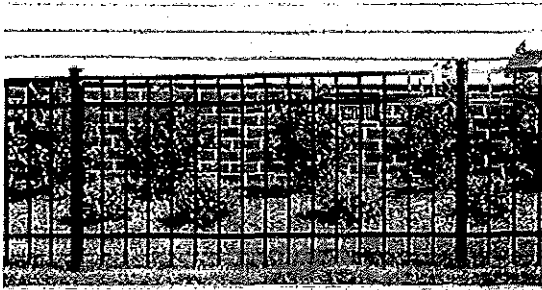
PORCH AND DECK FINISHING



All rear decks and porches visible from a street (i.e. corner lots) and any public areas must be finished to match the front porch detailing (handrails, horizontal lattice, etc.) and colors. Additional landscape screening is also required at the side elevation of the house, porch and deck.

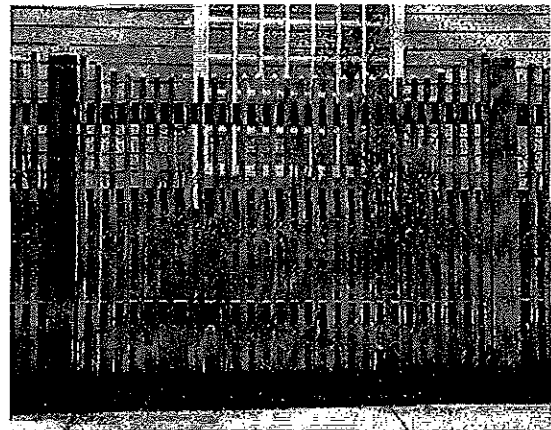
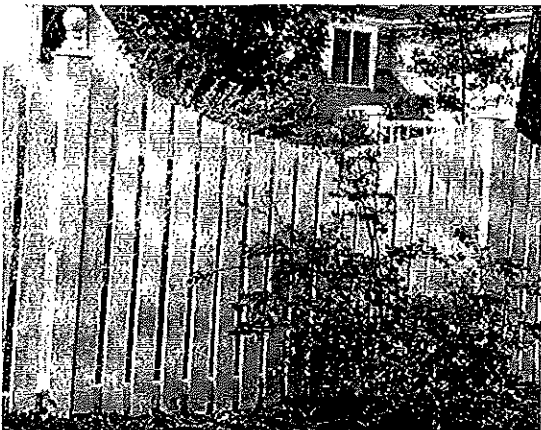
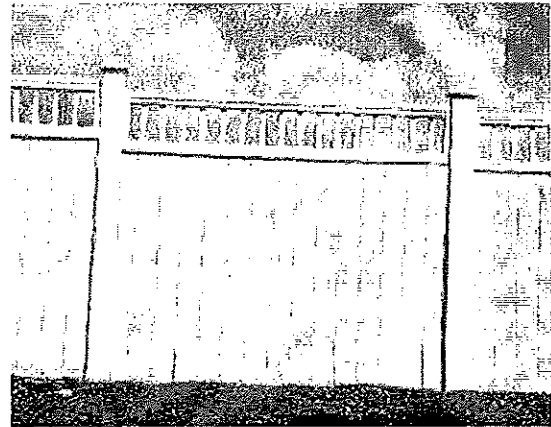
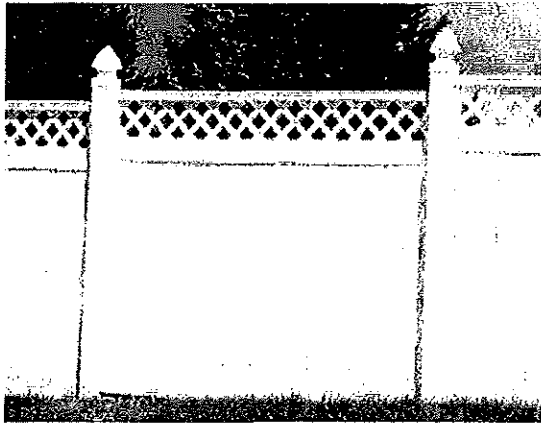
APPROVED FENCES AND EXAMPLES

FRONT YARD FENCES



Front yard fences shall be 30" to 36" in height maximum with open pickets and diverse styles of fencing as shown including diverse materials allowed (i.e. painted wood, vinyl, metal, etc.). See Fencing section of Architectural Guidelines for additional requirements.

REAR YARD FENCES



Rear yard fences shall not exceed 6'-0" in height (5'-0" and 4'-0" are strongly recommended). Rear yard fences may be "solid" (i.e. 1" spacing between pickets) up to 5'-0" and the upper remaining 1'-0" section shall be horizontal or diagonal lattice, vertical pickets, or other approval open screening detailing. Diversity of materials including wood (painted, stained and natural), vinyl, metal, etc. is allowed. Landscape screening is strongly encouraged in lieu of fencing if a more solid type screening is desired. Rear-yard fences are strongly recommended on all corner lots to allow privacy of rear yard. See Fencing section of Architectural Guidelines for additional requirements.

COLOR SCHEMES

COLOR SELECTION PROCEDURES AND GENERAL NOTES

1. Recommended color schemes have been pre-selected by the developer as noted below and actual samples are available in the Powell Place Sales Center for customer selection.
2. One color scheme must be selected and submitted to the Powell Place Architectural Review Board (ARB) for review and approval prior to painting house. In case of conflict with existing homes, another color choice may be required for ARB review and approval.
3. Review the Powell Place files and adjacent house colors for color coordination and prevention of color duplication prior to submittal.
4. Color schemes outside of this recommended color spectrum will be considered on a case by case basis. Colors other than those selected from the color selections at the Powell Place Sales Center shall be submitted with color chip samples (minimum 2" square in size, larger samples may be required) for ARB review and approval.
5. Colors should be submitted with the original house submittal to best assure your first choice selection. Color selection approval based on a first-come first-serve basis.
6. Various exterior colors are encouraged on the same house (i.e. siding, siding in gable ends, dormers, doors, shutters, window sashes, etc.). The ARB suggests accent colors in gable ends (i.e.: cedar shakes, etc.) including all visible gables on front elevations, dormers and corner not side elevations.
7. Garage doors shall be painted to match the trim or siding color as determined by the ARB to minimize the impact of the garage doors on the streetscape.
8. Fences in side and rear yards may remain unfinished. However, fences in front yards and locations visible from street (i.e. side yard fences facing street, corner lot fences facing and visible from streets, etc.) shall be painted to match the house trim color or accent color as determined by the ARB.
9. The Color Schemes include lighter and darker siding colors. Color Scheme numbers indicated are the approved Powell Place Color Scheme numbers and will be used for ease of identification. A darker siding color is suggested a minimum of every third house (33% of houses).
10. No same or similar color will be approved within 3 houses each side of street.
11. Houses of the same exterior design and elevation shall not have the same color scheme.

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12. All colors noted are Sherwin Williams. Other color manufacturer matches are allowed. Color binders are available for reference in the Powell Place Sales Center.
 13. Accent colors indicate colors for shutters, doors, accent trim, window sashes and muntins, etc.
 14. White and off-white trim colors are approved for all color schemes noted.
 15. Gutters and downspouts shall match the trim color.
 16. Use the approved Color Selection Form in submitting for ARB review and approval.
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RECOMMENDED COLOR SCHEMES

Scheme

Number	Color Surface	Color Number and Name
1.	Siding:	SW 2843 Roycroft Brass
	Trim:	SW 6119 Antique White
	Accent:	SW 2809 Rookwood Shutter Green
2.	Siding:	SW 7016 Mindful Gray
	Trim:	SW 7013 Ivory Lace
	Accent:	SW 6200 Link Gray
3.	Siding:	SW 2820 Downing Earth
	Trim:	SW 6106 Kilim Beige
	Accent:	SW 2837 Aurora Brown
4.	Siding:	SW 2835 Craftsman Brown
	Trim:	SW 6119 Antique White
	Accent:	SW 2816 Rookwood Dark Green
5.	Siding:	SW 7031 Mega Greige
	Trim:	SW 7013 Ivory Lace
	Accent:	SW 6264 Midnight
6.	Lower Siding:	SW 2826 Colonial Revival Green Stone
	Upper Siding:	SW 2861 Avocado
	Trim:	SW 6119 Antique White
	Accent:	SW 2837 Aurora Brown
7.	Lower Siding:	SW 6400 Lucent Yellow
	Upper Siding:	SW 2845 Bunglehouse Gray
	Trim:	SW 7005 Pure White
	Accent:	SW 6272 Plum Brown
8.	Siding:	SW 7032 Warm Stone
	Trim:	SW 6119 Antique White
	Accent:	SW 6005 Folkstone
9.	Siding:	SW 6087 Trusty Tan
	Trim:	SW 6119 Antique White
	Accent:	SW 7069 Iron Ore

10. Siding: SW 6163 Grassland
 Trim: SW 7005 Pure White
 Accent: SW 6188 Shade-Grown
 Accent: SW 6166 Eclipse
11. Lower Siding: SW 2842 Roycroft Suede
 Upper Siding: SW 2843 Roycroft Brass
 Trim: SW 6119 Antique White
 Accent: SW 2838 Polished Mahogany
12. Siding: SW 6223 Still Water
 Trim: SW 7005 Pure White
 Accent: SW 7069 Iron Ore
13. Siding: SW 2848 Roycroft Pewter
 Trim: SW 7005 Pure White
 Accent: SW 2844 Roycroft Mist Gray
14. Siding: SW 2822 Downing Sand
 Trim: SW 2820 Downing Earth
 Accent: SW 2809 Rookwood Shutter Green
15. Siding: SW 6207 Retreat
 Trim: SW 6119 Antique White
 Accent: SW 2810 Rookwood Sash Green
16. Siding: SW 2833 Roycroft Vellum
 Trim: SW 7005 Pure White
 Accent: SW 2847 Roycroft Bottle Green
17. Siding: SW 6199 Rare Gray
 Trim: SW 7005 Pure White
 Accent: SW 6200 Link Gray
18. Siding: SW 2835 Craftsman Brown
 Trim: SW 6119 Antique White
 Accent: SW 6034 Arresting Auburn
19. Siding: SW 6027 Cordovan
 Trim: SW 6119 Antique White
 Accent: SW 2842 Roycroft Suede

20. Siding: SW 7056 Reserved White
 Trim: SW 7005 Pure White
 Accent: SW 6222 Riverway
21. Siding: SW 6072 Versatile Gray
 Trim: SW 7005 Pure White
 Accent: SW 6020 Marooned
 Accent: SW 2810 Rookwood Sash Green
22. Siding: SW 7037 Balanced Beige
 Trim: SW 7005 Pure White
 Accent: SW 6481 Green Bay
23. Siding: SW 6693 Lily
 Trim: SW 7005 Pure White
 Accent: SW 2809 Rookwood Shutter Green
24. Siding: SW 2832 Colonial Revival Gray
 Trim: SW 7005 Pure White
 Accent: SW 2848 Roycroft Pewter
25. Siding: SW 2844 Roycroft Mist Gray
 Trim: SW 7005 Pure White
 Accent: SW 2811 Rookwood Blue Green
26. Siding: SW 2827 Colonial Revival Stone
 Trim: SW 2822 Downing Sand
 Accent: SW 2837 Aurora Brown
27. Siding: SW 6105 Divine White
 Trim: SW 7005 Pure White
 Accent: SW 2819 Downing Slate
28. Siding: SW 7066 Gray Matters
 Trim: SW 7005 Pure White
 Accent: SW 6257 Gibraltar
 Accent: SW 6034 Arresting Auburn
29. Siding: SW 6256 Serious Gray
 Trim: SW 7005 Pure White
 Accent: SW 6265 Quixotic Plum

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30. Lower Siding: SW 6156 Ramie
Upper Siding: SW 2845 Bunglehouse Gray
Trim: SW 6119 Antique White
Accent: SW 2839 Roycroft Copper Red
31. Siding: SW 6150 Universal Khaki
Trim: SW 6119 Antique White
Accent: SW 6222 Riverway
Accent: SW 6237 Dark Night
32. Lower Siding: SW 7043 Wordly Gray
Upper Siding: SW 7031 Mega Greige
Trim: SW 6119 Antique White
Accent: SW 6034 Arresting Auburn
33. Siding: SW 7031 Mega Greige
Trim: SW 7005 Pure White
Accent: SW 6244 Naval
34. Siding: SW 7018 Dovetail
Trim: SW 7005 Pure White
Accent: SW 7062 Rock Bottom
35. Siding: SW 2829 Classical White
Trim: SW 7005 Pure White
Accent: SW 6172 Hardware
36. Siding: SW 6161 Nonchalant White
Trim: SW 7005 Pure White
Accent: SW 7058 Magnetic Gray
37. Siding: SW 7005 Pure White
Trim: SW 7005 Pure White
Accent: SW 6265 Quixotic Plum
38. Lower Siding: SW 6113 Interactive Green
Upper Siding: SW 7017 Dorian Gray
Trim: SW 7005 Pure White
Accent: SW 2802 Rookwood Red
39. Lower Siding: SW 7038 Tony Taupe
Upper Siding: SW 6200 Link Gray
Trim: SW 6119 Antique White
Accent: SW 6020 Marooned
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40. Lower Siding: SW 2822 Downing Sand
Upper Siding: SW 2820 Downing Earth
Trim: SW 7005 Pure White
Accent: SW 2809 Rookwood Shutter Green
41. Lower Siding: SW 6100 Practical Beige
Upper Siding: SW 6122 Camelback
Trim: SW 7005 Pure White
Accent: SW 6020 Marooned
42. Siding: SW 6199 Rare Gray
Trim: SW 7005 Pure White
Accent: SW 7062 Rock Bottom
43. Lower Siding: SW 2822 Downing Sand
Upper Siding: SW 2827 Colonial Revival Stone
Trim: SW 6119 Antique White
Accent: SW 7069 Iron Ore
44. Lower Siding: SW 6163 Grassland
Upper Siding: SW 6166 Eclipse
Trim: SW 7005 Pure White
Accent: SW 6167 Garden Gate
45. Siding: SW 2846 Roycroft Bronze Green
Trim: SW 6119 Antique White
Accent: SW 2845 Bunglehouse Gray
Accent: SW 2839 Roycroft Copper Red
46. Lower Siding: SW 2815 Renwick Olive
Upper Siding: SW 2808 Rookwood Dark Brown
Trim: SW 6119 Antique White
Accent: SW 2824 Renwick Golden Oak
47. Siding: SW 6179 Artichoke
Trim: SW 6154 Nacre
Accent: SW 6237 Dark Night
48. Siding: SW 6003 Proper Gray
Trim: SW 7005 Pure White
Accent: SW 2942 Liberty Blue
- Porch Ceiling SW 6478 Watery